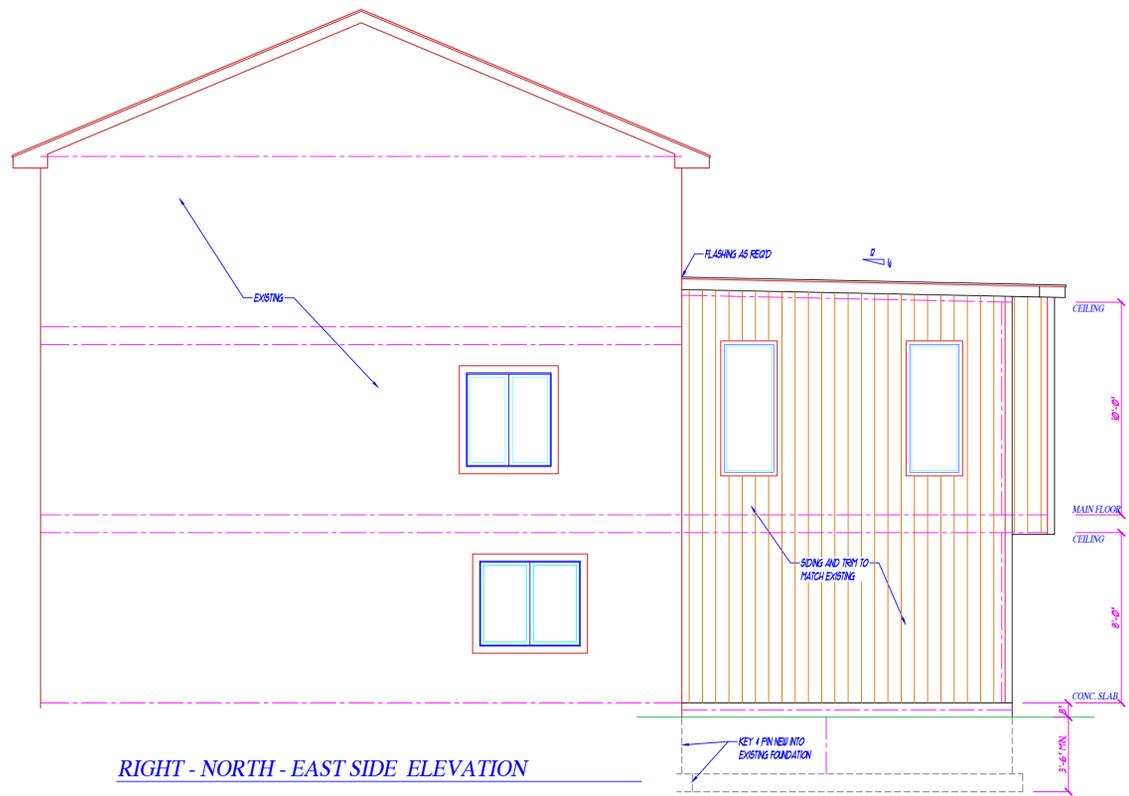
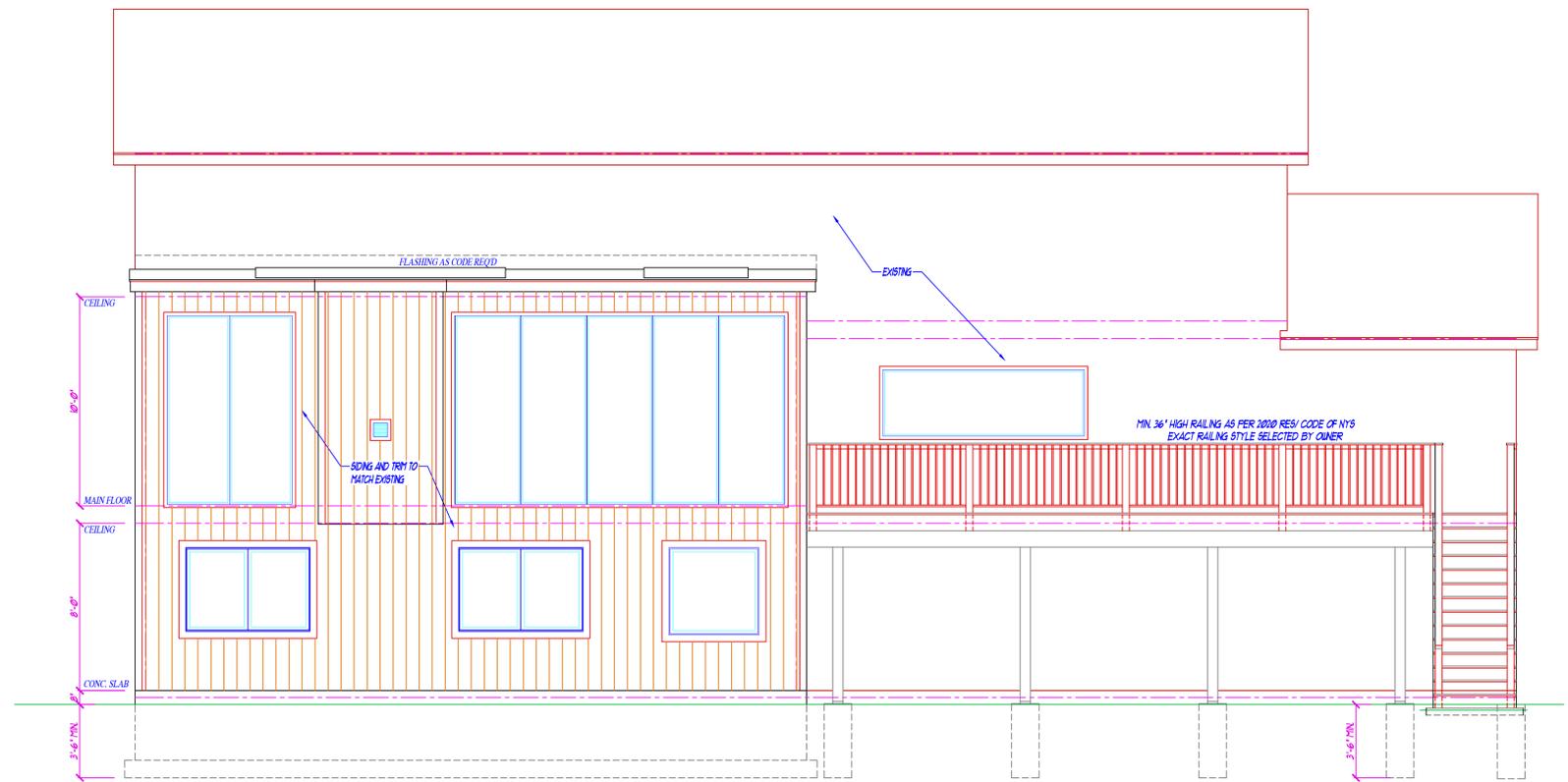


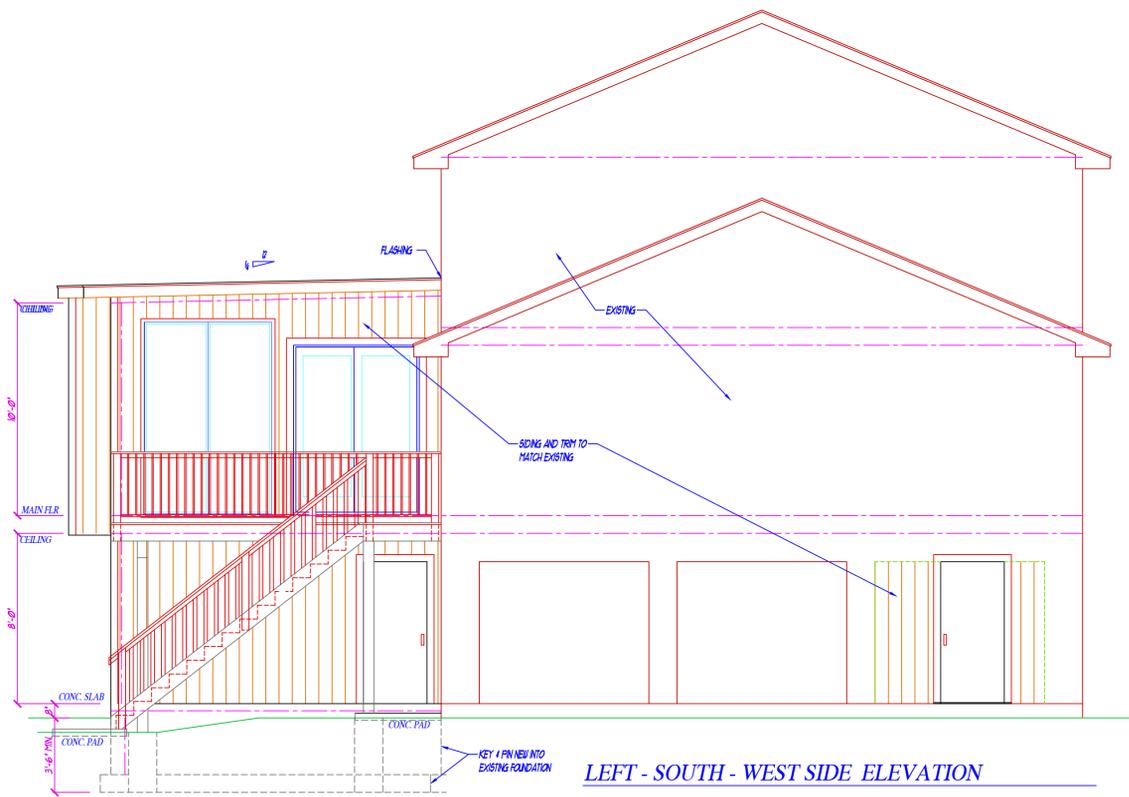
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. LOANED TO THE CLIENT FOR USE AS A CONSTRUCTION GUIDE FOR THIS PROJECT ONLY. SUBSTITUTIONS AND/OR REVISIONS MADE DIFFERING FROM THESE PLANS WITHOUT WRITTEN NOTICE SHALL VOID ARCHITECT'S RESPONSIBILITY. ARCHITECT NOT LIABLE FOR EXISTING AND IMPROPER CONDITIONS.



RIGHT - NORTH - EAST SIDE ELEVATION



REAR - NORTH - EAST SIDE ELEVATION



LEFT - SOUTH - WEST SIDE ELEVATION

ALL WORK TO BE IN ACCORDANCE WITH THE FOLLOWING:
 2020 RESIDENTIAL CODE OF NEW YORK STATE w/
 2020 ENERGY CONSERVATION CODE OF NYS
 2020 EXISTING BUILDING CODE OF NYS
 ZONING LAWS OF THE VILLAGE OF MONTEBELLO, NY
 LATEST EDITION OF THE NATIONAL ELECTRIC CODE

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THESE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE 2020 RESIDENTIAL CODE OF NYS, 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE AND ZONING REQUIREMENT OF THE VILLAGE OF MONTEBELLO, NY.

ERIC KNUTE OSBORN ARCHITECT
 021585
 STATE OF NEW YORK
 18 DEC. 2025
 ERIC KNUTE OSBORN, R.A. NY.S. NO. 021585 DATE

USE	LIVE LOAD
EXTERIOR BALCONIES	50 PSF
DECKS	40 PSF
PASSENGER VEHICLE GARAGES (AT GRADE)	50 PSF
ATTICS W/O STORAGE (MAX. 3/8 ROOF SLOPE)	10 PSF
ATTICS W/ STORAGE	20 PSF
ROOMS OTHER THAN SLEEPING ROOMS	40 PSF
SLEEPING ROOMS	30 PSF
STAIRS	40 PSF
STAIRS TREADS	300 PSF
GUARDRAILS AND HANDRAILS (SINGLE CONCENTRATED LOAD AT ANY PT.)	200 PSF
ROOF LOAD - ROOF SHALL BE DESIGNED FOR THE LIVE LOAD INDICATED OR THE SNOW LOAD INDICATED, WHICHEVER IS GREATER	40 PSF

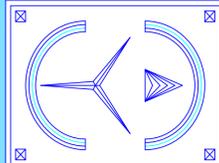
ALL ELECTRICAL WORK, MECHANICAL WORK AND PLUMBING WORK TO COMPLY WITH LATEST NEC GUIDELINES
 LVL GIRDERS & HEADERS TO BE A MINIMUM: 3,100 Lb (FIBER BENDING STRESS) 2Ie (MODULUS OF ELASTICITY)

TABLE 301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA														USE & CONSTRUCTION CLASS	
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.	USE - SINGLE FAMILY RESIDENCE CLASS - V WOOD FRAME 2 STORY FRAME	
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND Borne DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE							
40 PSF	115 MPH	NO	YES	1	CATAGORY B	SEVERE	42"	MODERATE TO HEAVY	15	YES	NONE	1500	50		

NOTES:
 "DO NOT SCALE DRAWINGS.
 ALWAYS USE PLAN DIMENSIONS!"

PROJECT DATA
 ADDED FLR AREA = 502.5 SQ. FT.
 X 2 FLRS = 1,005 SQ. FT.

WALL LEGEND
 ——— EXISTING WALLS
 - - - - NEW FRAMED WALL
 ■■■■■ LOAD BEARING WALLS
 - - - - DEMOLITION (V.L.F. IF LOAD BEARING)



ERIC KNUTE OSBORN ARCHITECT
 50 YEARS' EXPERIENCE
 RESIDENTIAL - COMMERCIAL - ADDITIONS
 58 BARNES ROAD
 WASHINGTONVILLE, N.Y. 10992
 EMAIL - EKOSBORNARCHITECT@GMAIL.COM
 (845) 629-7474

PROJECT
PROPOSED REAR ADDITION AT 3 HENRY CT.
 VILLAGE OF MONTEBELLO
 ROCKLAND COUNTY, NEW YORK

ELEVATIONS

START DATE: 4 DEC. 2025

PROJECT # 2025-ADD-21

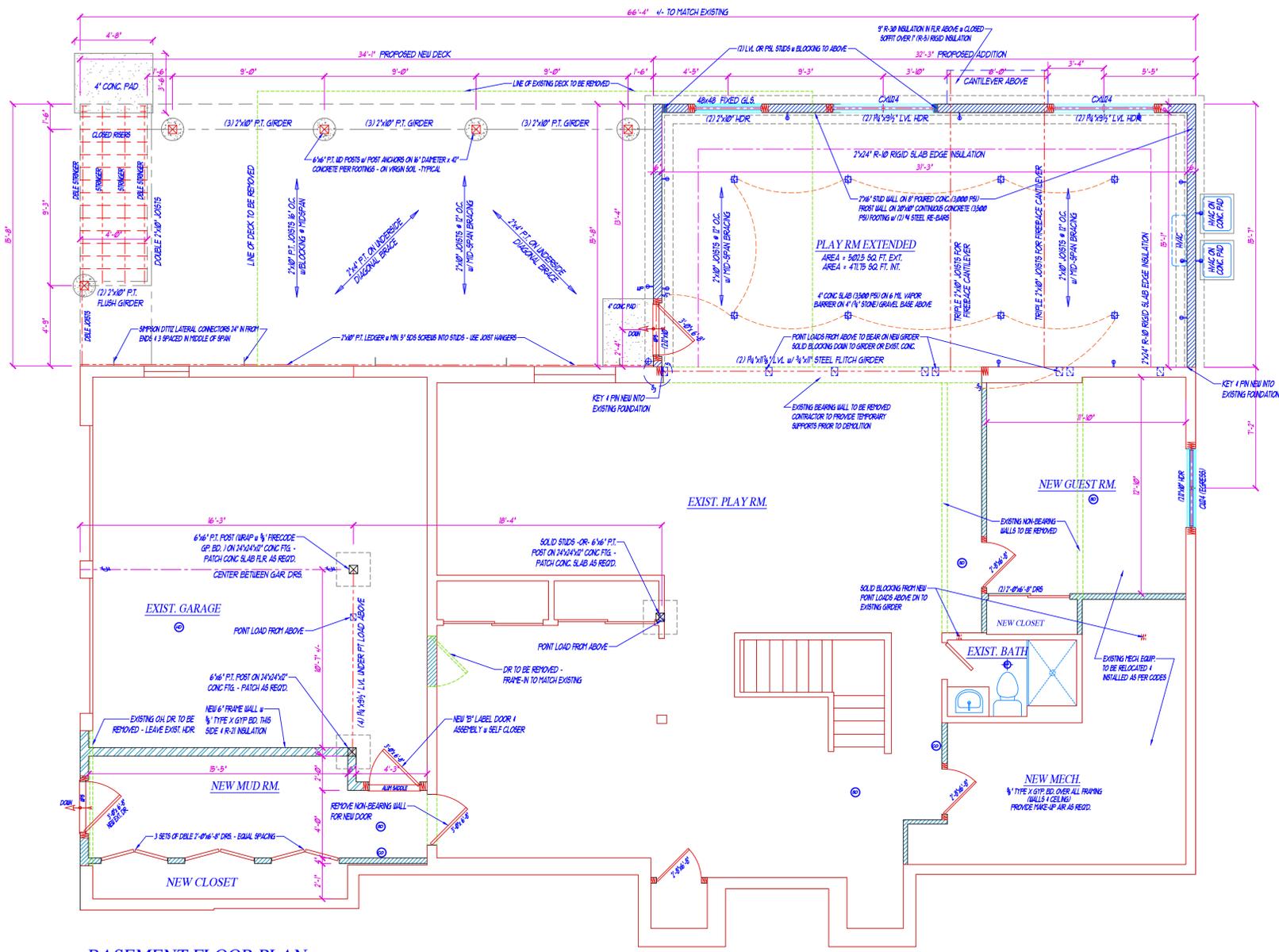
SCALE 1/4" = 1'-0"

DWG. No.

A-1

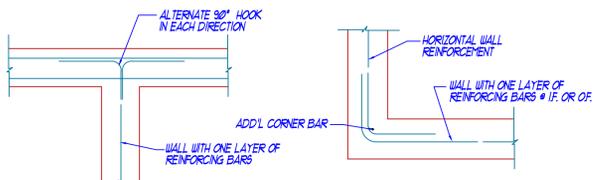
1 OF 4





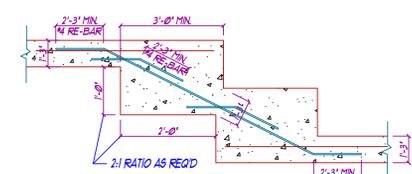
BASEMENT FLOOR PLAN

ADDED FLR AREA = 502.5 SQ. FT.



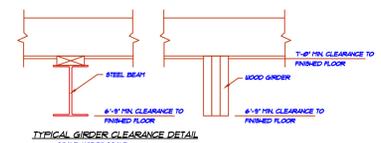
FOOTING & WALL REINFORCEMENT AT INTERSECTIONS

NOTE FOR VERTICAL REINFORCING NOT SHOWN, SEE SECTIONS FOR SIZES AND SPACING OF ALL REINFORCING

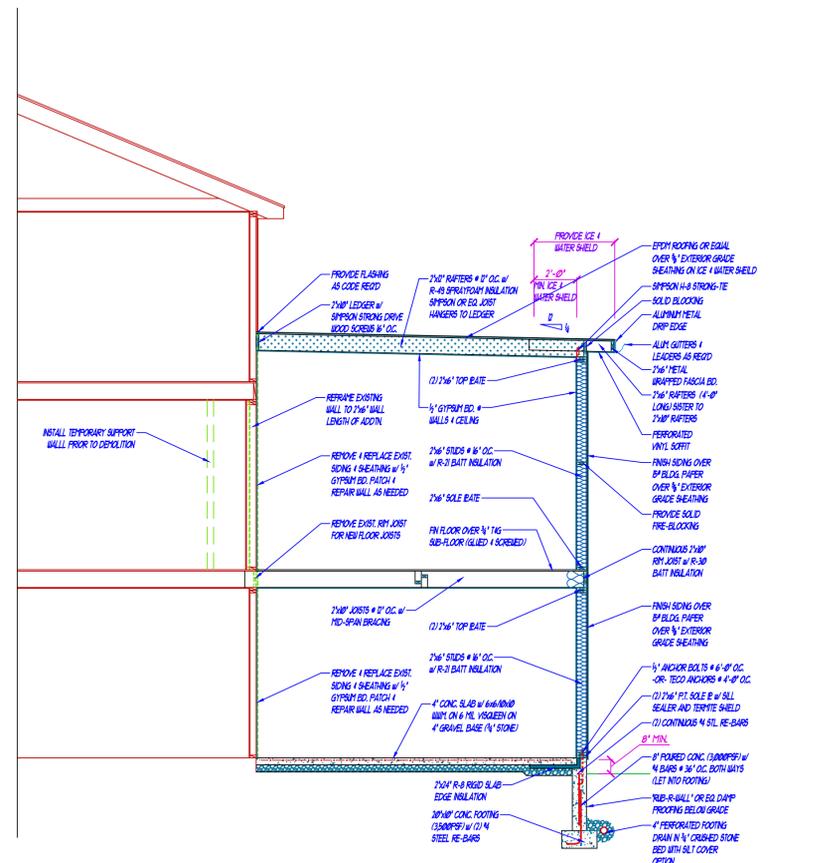


STEP FOOTING DETAIL

NOTES - TOP SURFACE OF FTGS. TO BE LEVEL. BOTTOM SURFACE OF FOOTINGS NOT TO HAVE A SLOPE EXCEEDING ONE VERTICAL UNIT IN 10 HORIZONTAL UNITS (MAX 10% SLOPE). MINIMUM 3 INCHES OF CONCRETE COVERAGE AROUND ALL RE-BARS.



TYPICAL GIRDER CLEARANCE DETAIL



BUILDING SECTION

SCALE 1/4" = 1'-0"

ELECTRIC LEGEND

NOTE - ALL ELECTRICAL TO COMPLY WITH LATEST NEC

- DUPLEX OUTLET
- ⊕ GROUND FAULT OUTLET (DUPLEX)
- ⊕ GROUND FAULT OUTLET WEATHERPROOF
- ⊕ DEDICATED CIRCUIT (APPLIANCE ETC.)
- ⊕ EXHAUST FAN W/LIGHT (2) SWITCHES
- ⊕ SMOKE DETECTOR
- ⊕ CARBON MONOXIDE DETECTOR
- ⊕ CEILING POINTED FUTURE (DOWN INCANDESCENT)
- ⊕ WALL POINTED FUTURE (DOWN INCANDESCENT)
- ⊕ RECESSED FUTURE
- ⊕ RECESSED LED FUTURE
- ⊕ SWITCH
- ⊕ THREE WAY SWITCH
- ⊕ FOUR WAY SWITCH
- ⊕ SWITCH TO FUTURE WIRING

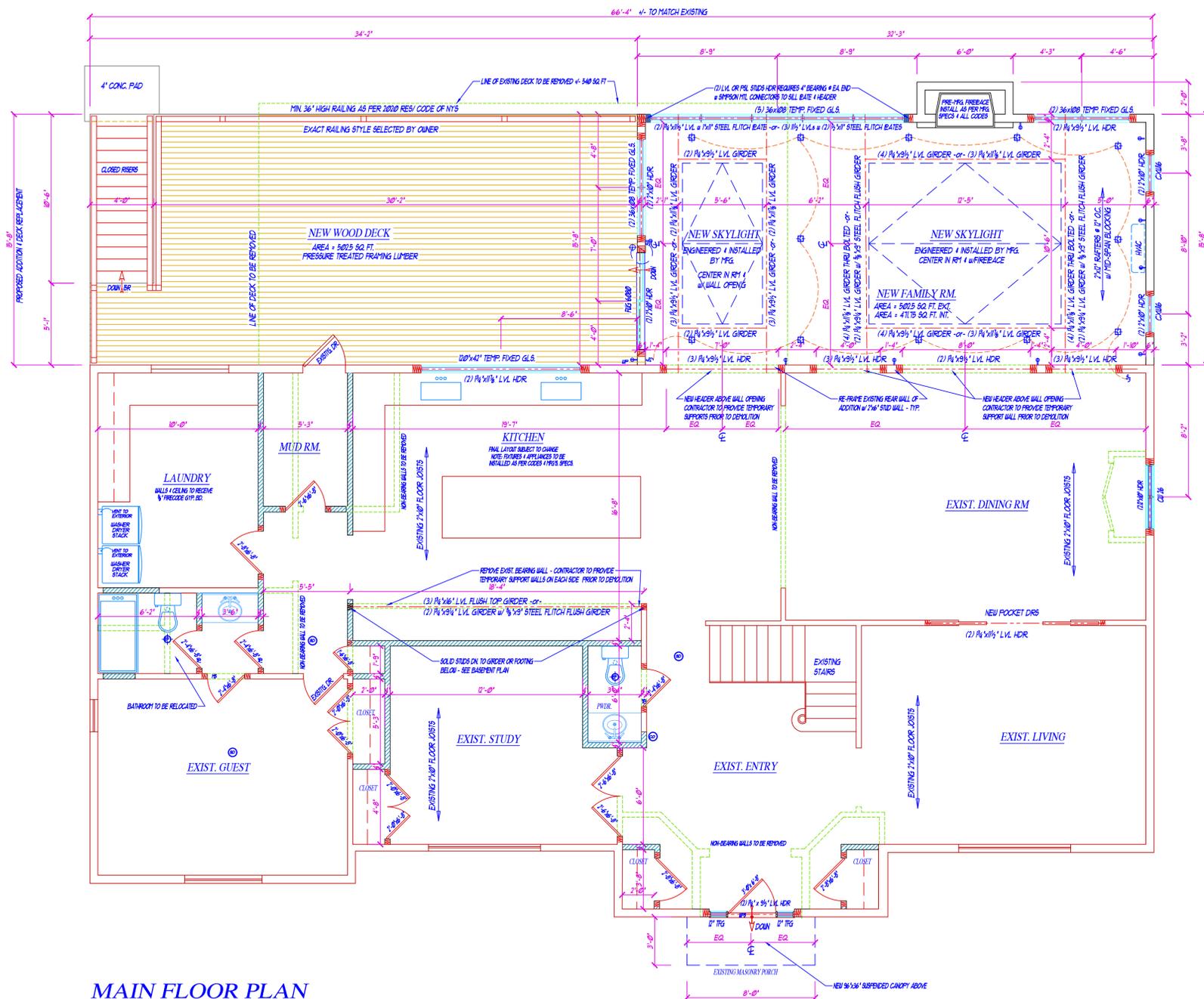
ELECTRICAL NOTES

- NOTES - TYPICAL UNLESS NOTED OTHERWISE ON PLAN
- ALL OUTLETS, FIXTURES AND THEIR RESPECTIVE SWITCHES TO BE PLACED AND INSTALLED AS PER THE RESIDENTIAL CODE OF NYS AND THE LATEST EDITION OF THE NEC
- ALL SMOKE AND CARBON MONOXIDE DETECTORS TO BE HARDWIRED AND INTERCONNECTED WITH EACH OTHER. PROVIDE BATTERY BACK-UP TYPE DETECTORS
- ELECTRICAL CONTRACTOR SHALL PROVIDE MECHANICAL EXHAUST FANS FOR ALL RANGES AND IN ALL LAUNDRY, TOILET, TUB AND SHOWER AREAS. ALL FANS TO BE SWITCHED INDIVIDUALLY AND VENTED TO THE EXTERIOR AS REQUIRED
- ELECTRICAL CONTRACTOR SHALL PROVIDE SWITCH FOR DISHWASHER LOCATED IN SINK CABINETS WITHOUT PRIOR CONSENT FROM BUILDER AND ARCHITECT
- BUILDER AND ELECTRICAL CONTRACTOR TO VERIFY FUTURE LOCATIONS WITH OTHER TRADES INVOLVED WITH THIS PROJECT PRIOR TO INSTALLATION
- BUILDER AND ELECTRICAL CONTRACTOR SHALL VERIFY WITH OWNER SWITCHING OPTIONS, RECESSED AND OTHER LIGHTING SKIN IS SUGGESTIVE AND SUBJECT TO CHANGE
- BUILDER SHALL VERIFY WITH OWNER ALL SWITCH AND FIXTURE OPTIONS, COLORS, ETC. PRIOR TO ORDERING - ARCHITECT NOT RESPONSIBLE FOR MATERIAL ORDERS
- G.C. TO PROVIDE A MAJOR GROUNDING ELECTRODE WIRE GRANCED TO FOOTING RE-BARS & PROPERLY CONNECTED TO THE MAIN PANEL

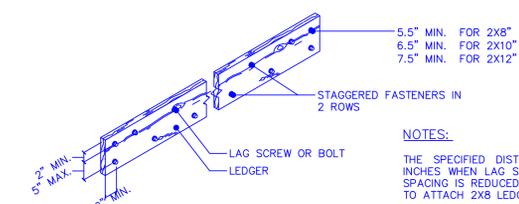
HEATING & A/C NOTES

- NOTES - TYPICAL UNLESS NOTED OTHERWISE ON PLAN
- ALL PLUMBING WORK EQUIPMENT AND FIXTURES TO BE PLACED AND INSTALLED AS PER THE RESIDENTIAL CODE OF NYS AND INDUSTRY STANDARDS
- PLUMBING CONTRACTOR SHALL NOT DRILL OR CUT STRUCTURAL GIRDERS, HEADERS AND BEAMS WITHOUT PRIOR CONSENT FROM BUILDER AND ARCHITECT. DRILLING AND CUTTING OF FLOOR JOISTS SHALL BE IN STRICT ACCORDANCE WITH CODE AND/OR SAID JOIST MANUFACTURERS SPECIFICATIONS - PLUMBER TO VERIFY WITH HIS OR HER STAFF PRIOR TO DRILLING AND CUTTING - ARCHITECT NOT RESPONSIBLE FOR IMPROPER CUT HOLES
- BUILDER AND PLUMBING CONTRACTOR TO VERIFY FUTURE & PIPE LOCATIONS WITH OTHER TRADES INVOLVED WITH THIS PROJECT PRIOR TO INSTALLATION
- PLUMBING CONTRACTOR AND/OR HVAC CONTRACTOR TO EXTEND EXISTING SYSTEMS
- BUILDER SHALL VERIFY WITH OWNER ALL FIXTURE MODEL, OPTIONS, COLORS, ETC. PRIOR TO ORDERING - ARCHITECT NOT RESPONSIBLE FOR MATERIAL ORDERS

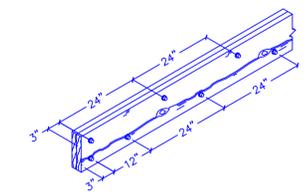
<p>NOTES: "DO NOT SCALE DRAWINGS. ALWAYS USE PLAN DIMENSIONS!"</p>	<p>PROJECT DATA</p>	<p>WALL LEGEND</p> <ul style="list-style-type: none"> — EXISTING WALLS ▨ NEW FRAMED WALL ▩ LOAD BEARING WALLS - - - WALLS TO BE REMOVED 		<p>ERIC KNUTE OSBORN ARCHITECT 50 YEARS' EXPERIENCE RESIDENTIAL - COMMERCIAL - ADDITIONS 58 BARNES ROAD WASHINGTONVILLE, N.Y. 10992 EMAIL - EKOSBORNARCHITECT@GMAIL.COM (845) 629-7474</p>	<p>PROJECT PROPOSED REAR ADDITION AT 3 HENRY CT. VILLAGE OF MONTEBELLO ROCKLAND COUNTY, NEW YORK</p>	<p>BASEMENT FLOOR PLAN</p>	<p>START DATE: 4 DEC. 2025</p>	<p>PROJECT # 2025-ADD-21 SCALE 1/4" = 1'-0" DWG. No. A-2 2 OF 4</p>	
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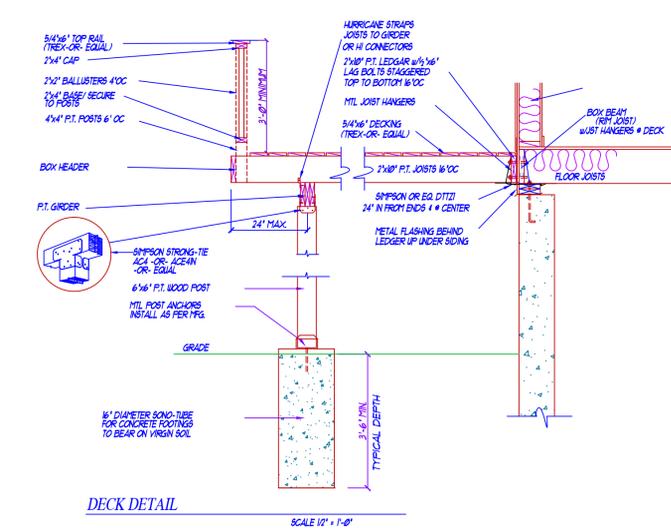
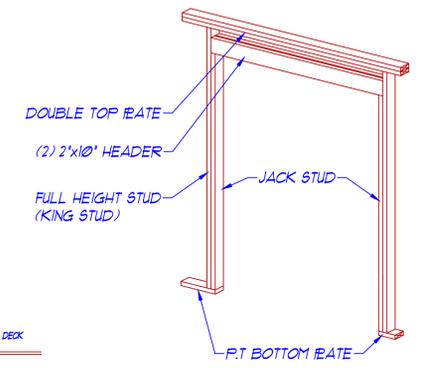
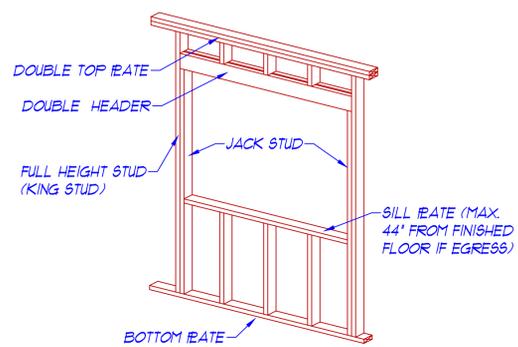
MAIN FLOOR PLAN
ADDED FLR AREA = 502.5 SQ. FT.



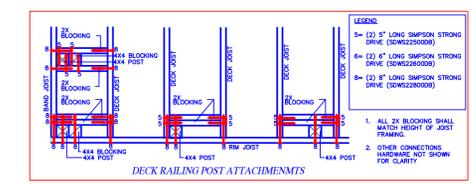
TYPICAL LEDGER DETAIL
SCALE 1/2" = 1'-0"



TYPICAL GIRDER FASTENING DETAIL
SCALE 1/2" = 1'-0"



DECK DETAIL
SCALE 1/2" = 1'-0"



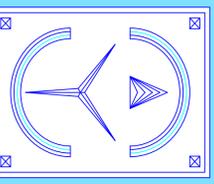
NOTES:
"DO NOT SCALE DRAWINGS.
ALWAYS USE PLAN DIMENSIONS!"

PROJECT DATA

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WALL LEGEND

	EXISTING WALLS
	NEW FRAMED WALL
	LOAD BEARING WALLS
	WALLS TO BE REMOVED



ERIC KNUTE OSBORN ARCHITECT
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PROJECT
PROPOSED REAR ADDITION AT 3 HENRY CT.
VILLAGE OF MONTEBELLO
ROCKLAND COUNTY, NEW YORK

MAIN FLOOR PLAN BUILDING SECTION

START DATE: 4 DEC. 2025

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PROJECT # 2025-ADD-21
SCALE 1/4" = 1'-0"
DWG. No. A-3
3 OF 4
20 DEC. 2025

GENERAL NOTES

ALL WORK SHALL BE IN ACCORDANCE WITH ALL PREVAILING CODES, LAWS AND ORDINANCES OF THE 2020 NYS RESIDENTIAL ENERGY CONSERVATION CODES AND THE LOCAL TOWN OR VILLAGE ZONING LAWS WHERE THIS PROJECT IS LOCATED.

THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY PRIOR DURING AND AFTER CONSTRUCTION ALL NECESSARY LICENSES AND INSURANCES PER THE NYS LOCAL ZONING LAWS.

THE OWNER SHOULD READ AND REVIEW HIS/HER ENTIRE SET OF CONTRACT DOCUMENTS (PLANS & SPECIFICATIONS) PRIOR TO GIVING IT TO THE CONTRACTOR. OWNER SHALL CONFIRM THAT ALL INFORMATION IS CORRECT. SHOULD THE OWNER FIND ANYTHING THAT WAS NOT INTENDED TO BE DONE, THEN THEY SHALL HAVE THE ARCHITECT AMEND IT AS REQUIRED.

THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION, AND OR PROJECT SITE. THE GENERAL PUBLIC, PROSPECTIVE BUYERS AND ALL OTHER NON-CONSTRUCTION RELATED PERSONS ARE NOT TO ENTER THE CONSTRUCTION WORK AREA UNTIL A VALID CERTIFICATE OF OCCUPANCY IS ISSUED BY THE LOCAL BUILDING DEPARTMENT.

THE PROJECT SITE SHALL BE PROPERLY POSTED AND TAPED AND OR FENCED OFF TO ENSURE PUBLIC SAFETY AND SAFEGUARD THE PUBLIC AT ALL TIMES. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS (PLANS & SPECIFICATIONS) PRIOR TO ANY ERECTION OR CONSTRUCTION.

ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IMMEDIATELY. ALWAYS USE DIMENSIONS AS SHOWN AND THE CONTRACTOR SHOULD REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED.

ALL CHANGES MADE BY THE CONTRACTOR SHALL FIRST BE APPROVED BY THE ARCHITECT AND OWNER PRIOR TO STARTING WITH THE WORK INVOLVED. ANY UNAUTHORIZED CHANGES MADE BY THE CONTRACTOR AND ULTIMATELY NOT BEING APPROVED BY THE OWNER AND ARCHITECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND TO BE CORRECTED AT THEIR OWN EXPENSE.

THE ARCHITECT HAS NOT BEEN RETAINED FOR ANY MECHANICAL DESIGN SYSTEMS, DUCTS, CHASE OPENINGS, SIZE OF FURNACE AND FRESH AIR REQUIREMENTS, ETC. THESE ARE NOT SHOWN AND SHALL BE DETERMINED BY A MECHANICAL ENGINEER PRIOR TO COMMENCING THE WORK.

THE ARCHITECT HAS NOT BEEN RETAINED FOR SUPERVISION AND CONSTRUCTION INSPECTIONS AND/OR THE REVIEW OF SHOP DRAWINGS. THE ARCHITECT HAS ONLY BEEN RETAINED FOR DESIGN PURPOSES. THEREFORE, THE ARCHITECT ASSUMES NO LIABILITY FOR WORKMANSHIP CODE AND OR PLAN COMPLIANCE. THE ARCHITECT'S RESPONSIBILITY IS STRICTLY LIMITED TO THESE PLANS AND RELATED SPECIFICATIONS ONLY.

THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION MEANS, METHODS, DEVIATIONS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR ANY SAFETY PRECAUTIONS MADE BY THE CONTRACTOR OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE DOCUMENTS. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURES AND OR ANY UNFORESEEN PROBLEMS PRIOR TO NEW CONSTRUCTION. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY DEMOLITION, SITE WORK, NEW CONSTRUCTION, OPERATION AND METHODS.

ALL AREAS THAT ARE AFFECTED BY ALL AREAS SHALL BE REPAIRED AND OR PATCHED TO A LIKE NEW CONDITION, UNLESS NOTED OTHERWISE. THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS BY THE LOCAL AND STATE AS REQUIRED AND TO DELIVER TO THE OWNER A CO. UPON COMPLETION OF THE PROJECT.

THE CONTRACTOR SHALL PROVIDE A CONTAINER FOR THE REMOVAL OF DEBRIS DURING CONSTRUCTION.

THE CONTRACTOR AND ALL SUBCONTRACTORS WORKING WITH THIS PROJECT SHALL KEEP THE SITE CLEAN AND HAZARD FREE AT ALL TIMES AND TO OBEY ALL OSHA 10 AND ALL OSHA SAFETY REGULATIONS. THE CONTRACTOR SHALL LEAVE PREMISES BROOM CLEAN DAILY.

THE CONTRACTOR SHALL GUARANTEE ALL WORK SPECIFIED AND/OR DESCRIBED BY THESE DRAWINGS AND IS TO FOLLOW ALL NATIONALLY ACCEPTED TRADE PRACTICES.

FRAMING NOTES

ALL STANDARD FRAMING LUMBER TO BE HEMLOCK FIR #2, OR BETTER UNLESS OTHERWISE NOTED. ALL ENGINEERED BEAMS INDICATED ON THE PLANS ARE DESIGNED USING THIS SPECIFIC MANUFACTURER AND SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS. WHEN USING MULTIPLE MEMBER ENGINEERED BEAMS, THE FRAMER SHALL REFERENCE WITH THE SPECIFIC MANUFACTURER'S NAILING GUIDE.

PROVIDE METAL FLASHING AT ALL EXTERIOR DOORS, WINDOWS AND OPENINGS UNLESS SHOWN INSTALLED OTHERWISE. ICE 1 WATER SHIELD AT ALL ROOF EDGES IN VALLEYS, UP AGAINST WALL JUNCTIONS OVER ROOFS AND UPRA OVER. FLASHING SHIELD IS REQUIRED FROM EDGE OF EAVE TO A POINT NOT LESS THAN 14" BEYOND INTERIOR FACE OF EXTERIOR WALL. PROVIDE OPTIONAL SNOW-GUARDS IF REQUIRED WITH THE STANDARD SPACING ALONG THE BOTTOM EDGE OF THE ROOF.

FRAMING NOTES DIMENSIONS ARE TO THE NEAREST INCH. ACTUAL ROOM SIZES MAY VARY DUE TO GYPSUM BOARD.

ALL WOOD FRAMING IN DIRECT CONTACT WITH SOIL, CONCRETE, MASONRY OR WEATHER SHALL BE PRESURE TREATED (ALPA STANDARD C1, C3).

ALL FRAMING BELOW THE REQUIRED FLOOD ELEVATION AS SET FORTH BY FEMA AND LOCAL BUILDING OFFICIALS SHALL BE PRESURE TREATED.

SECURE ALL TEMPORARY RAILINGS WITH GUARDS TO BE INSTALLED AROUND ALL FLOOR OPENINGS AND OPEN DOOR OPENINGS. PROVIDE TEMPORARY RAMPS AND/OR STAIRS TO BE INSTALLED AT ALL LEVELS.

ALL LUMBER TO BE SOUND, DRY AND FREE FROM ROT, KNOTS, AND SPLITS.

ALL FRAMING SHALL BE FRAMED AT 16" O.C. UNLESS SHOWN OTHERWISE. FOR ALL CONVENTIONAL FLOOR FRAMING PROVIDE A MINIMUM OF ONE ROW OF 5/4 CROSS BRIDGING FOR ALL JOISTS WITH SPANS OVER 14'-0" OR SHOWN OTHERWISE ON THE PLANS.

PROVIDE A MINIMUM OF DOUBLE JOISTS BELOW ALL PARALLEL PARTITIONS, MAJOR APPLIANCES, BATH FIXTURES, AND AT ALL CANTILEVERS UNLESS SHOWN OTHERWISE. PROVIDE A MINIMUM OF DOUBLE ALL JOISTS AT OPENINGS IN FLOORS, CEILING AND ROOFS. PROVIDE A MINIMUM OF DOUBLE WALL STUDS AROUND ALL WALL OPENINGS, JACK STUDS UNDER ALL HEADERS, TRIPLE STUDS AT ALL CORNERS.

PROVIDE POSTS AT ALL RIDGE, HIP AND VALLEY INTERSECTIONS DOWN TO A MINIMUM OF 16" x 16" CEILING JOISTS.

ALL FRAMING SHALL BE FRAMED CROWN UP UNLESS AT CANTILEVERS OR SHOWN OTHERWISE. SOLID BLOCKING SHALL BE PROVIDED UNDER ALL POSTS THAT DON'T REST DIRECTLY ON JOISTS. ALL INTERIOR WOOD POSTS SHALL BE SOLID STUDS, AND TO BE A MINIMUM OF THE WIDTH OF THE BEAM SUPPORTING IT, AND PROVIDE A MINIMUM ONE KING STUD AT EITHER SIDE.

BRACE ALL WALLS DURING CONSTRUCTION.

ALL WALL FRAMING OF 8'-0" AND GREATER SHALL HAVE CATS (SOLID BLOCKING) AT MIDDIEIGHT ALL DOORS, WINDOWS AND OPENINGS SHALL HAVE A MINIMUM HEADER TO BE AS FOLLOWS UNLESS SHOWN OTHERWISE ON THE PLANS. UP TO 3'-0" USE 12"x10" UP TO 8'-0" USE 13"x10" OR 12"x12" OPENINGS GREATER THAN 8'-0" SEE PLANS FOR SIZES.

PROVIDE FASTENER NAILS AS FOLLOWS: 10d AT ALL GENERAL FRAMING AND 8d AT ALL AT FL, TUDOD, 4" SPACING MAX. - TABLES R66/013/1) THROUGH R66/013/3)

TRIM & PAINTING NOTES

ALL PAINTS AND STAINS SHALL BE OF A MANUFACTURER AS SCHEDULED OR AS DIRECTED BY BUILDER.

ALL INTERIOR WOOD, TRIM, SHELVING AND OAK FLOORS SHALL BE FINISHED AS SCHEDULED OR AS DIRECTED BY BUILDER.

ALL INTERIOR DOORS, TRIM AND EXPOSED WOOD SHALL BE BANDED COMPLETELY TO A SMOOTH FINISH TO MATCH THE TRIM.

ALL EXTERIOR FERROUS METAL SHALL BE PAINTED WITH A RUST INHIBITOR AND TWO COATS OF ENAMEL.

STAIR & RAILING NOTES

ALL STAIRS AND RAILINGS SHALL COMPLY WITH THE 2020 NYS RESIDENTIAL CODE. ALL STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. HANDRAILS SHALL NOT BE PERMITTED INTO THE STAIRWAY MORE THAN 12" FROM THE WIDTH OF 27" IF THERE IS TWO HANDRAILS AND 31" THERE IS ONLY ONE HANDRAIL WITH A MINIMUM WALL CLEARANCE OF THE MINIMUM HEADROOM IN ALL PARTS OF STAIRWAYS SHOWN. HANDRAILS SHALL NOT BE LESS THAN 1 1/2" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM.

THE MAXIMUM RISER HEIGHT IS 8 1/4". THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

GREATEST TREAD DEPTH SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". UNDER TREADS ARE PERMITTED PROVIDED THAT THE WIDTH OF THE TREAD AT A POINT IS NOT MORE THAN 1" AND FROM THE NARROW SIDE IS NOT LESS THAN 10".

UNDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 6" AT ANY POINT. THE GREATEST UNDER TREAD DEPTH AT THE 12" WALK LINE SHALL NOT EXCEED THE SMALLEST BY MORE THAN A NOSING NOT LESS OF 3/4" AND NOT GREATER THAN 1" ON STAIRWAYS WITH SOLID RISERS.

THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE.

HANDRAIL HEIGHT SHALL BE A MINIMUM OF 34" AND 38" OPEN RAILINGS AND GUARDS SHALL NOT BE GREATER THAN 4".

FOUNDATION NOTES

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND COORDINATE DIMENSIONS BETWEEN FOUNDATION AND FLOOR PLANS PRIOR TO CONSTRUCTION. ALL EXCAVATIONS SHOULD BE SUBSTANTIALLY FREE OF WATER DURING FOUNDATION CONSTRUCTION WORK.

THIS PROJECT HAS BEEN DESIGNED BY ASSUMING THAT ALL THE SOIL BEARING IS 25 KIP/SQ. FT. (2500).

ALL FORMED CONCRETE SHALL TO BE MIN. 3000 PSI COMPRESSIVE YIELD STRENGTH AT 28 DAY CURE TIME.

ALL STRUCTURAL CONCRETE (INCLUDING SLABS AND WALKWAYS) SHALL BE A STONE CONCRETE WITH A 1:3:5 MIX AND HAVE A MINIMUM STRENGTH OF 3500 PSI AT THE END OF 28 DAYS.

ALL CONCRETE SLABS SHALL BE MIN. 4" THICK OVER 6 MIL VAPOR BARRIER ON 2" GRAVEL BASE (3/4" SIZE STONE) UNLESS SHOWN OTHERWISE.

ALL FOOTINGS SHALL BE BELOW THE FINISHED GRADE MINIMUM OF 3'-6" IN ROCKLAND COUNTY, 3'-6" IN ORANGE COUNTY OR OTHERWISE SHOWN ON THE PLANS.

ALL GRADE FILL MATERIAL SHALL BE COMPACTED TO A DENSITY OF 96%.

ALL CONCRETE SLABS SHALL BE A MINIMUM OF 4" THICK - REINFORCED WITH #4@16" ON 16" DIA. WELDED WIRE MESH ON 6 MIL VAPOR BARRIER ON 4" OF 3/4" GRAVEL, UNLESS SHOWN OTHERWISE AND TO ALL CORNERS/FRAMES/BEAMS RECEIVE A FINE BROOM FINISH UNLESS SHOWN OTHERWISE.

SLOPE ALL CONCRETE SLABS TO DRAIN TO EXTERIOR DRAINAGE GARGOLES SHALL BE A MINIMUM OF 1/8" IN 1'-0" UNLESS SHOWN OTHERWISE.

MASONRY AND CONCRETE CONTRACTOR SHALL INSTALL ALL ANCHOR BOLTS, PLATES, CHASES, BLOTS, BLEEDERS, ETC. AS REQUIRED BY TRADES.

CAULK WEATHER-TIGHT ALL OPENINGS.

NOTES:
"DO NOT SCALE PLANS!"
USE DIMENSIONS FOR CONSTRUCTION

PROJECT DATA:

START DATE: 4 DEC. 2025

PROJECT # 2025-ADD-21

SCALE AS NOTED

DWG. No. **A-4**

4 OF 4

SEAL & SIGNATURE

ERIC KNUTE OSBORN ARCHITECT
50 YEARS EXPERIENCE
RESIDENTIAL - COMMERCIAL - ADDITIONS
58 BARNES ROAD
WASHINGTONVILLE, N.Y. 10992
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(845) 629-7474

PROJECT

GENERAL NOTES
DECK DETAILS
DETAILS ARE NOT TO SCALE

20 DEC. 2025
N.Y. LIC. #021-585

